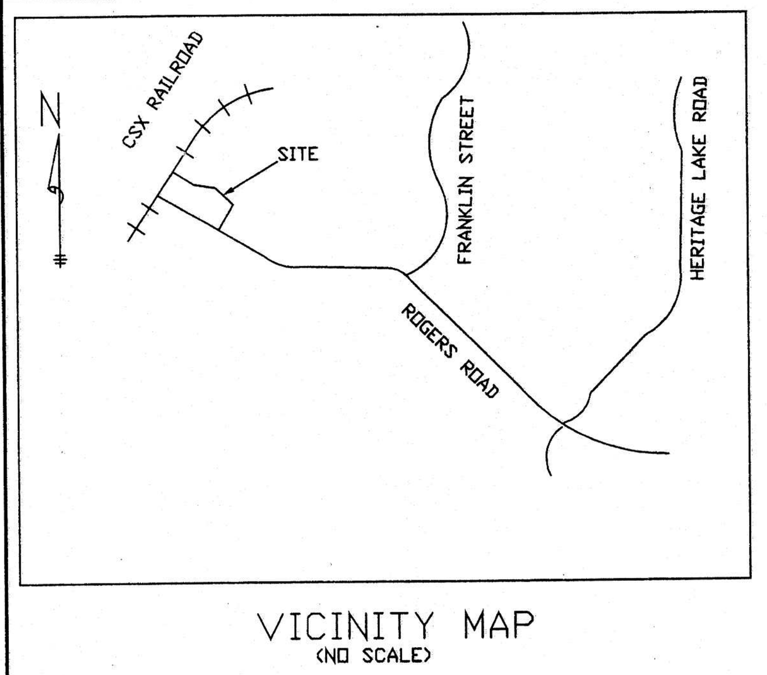


VICINITY MAP
(NO SCALE)

LINE	BEARING	DISTANCE
L 2	N 09°12'17"E	48.05'
L 3	N 10°10'46"E	52.79'
L 4	N 11°08'47"E	50.10'
L 5	N 12°08'33"E	36.66'

LEGEND

- CONCRETE MONUMENT
- COMPUTED POINT
- IRON PIPE SET
- EXISTING IRON PIPE
- ???? STREET ADDRESS
- PP POWER POLE
- LP LIGHT POLE
- -E- OVERHEAD ELECTRIC LINES
- -T- OVERHEAD TELEPHONE LINES
- -X- FENCE
- CENTER LINE CREEK
- WV WATER VALVE
- FH FIRE HYDRANT
- CO SANITARY SEWER CLEAN OUT
- MH SANITARY SEWER MANHOLE
- WM WATER METER
- CB CATCH BASIN
- DI DROP INLET
- C&G CURB AND GUTTER
- EOP EDGE OF PAVEMENT
- BOC BACK OF CURB
- FES FLARED END SECTION
- RCP REINFORCED CONCRETE PIPE

REFERENCES

BM 1999 PG 2330
BM 2001 PG 1972
BM 2001 PG 1973
BM 2003 PG 784
DB 9016 PG 638 (RESTRICTIVE COVENANTS)

LOT 1

AREA FROM BM 2001 PG 1972
5.272 ACRES (INCORRECT)
229 636 SQ FT (INCORRECT)

AREA AS COMPUTED
5.069 ACRES
220 814 SQ FT

NOTE: ONLY UTILITIES WITH VISIBLE EVIDENCE LOCATED. UNDERGROUND UTILITY LINES SHOWN ARE APPROXIMATE AND EXTENT IS ESTIMATED & MAY BE INCOMPLETE. EXCAVATION MAY BE REQUIRED TO VERIFY LOCATIONS. OTHER UNDERGROUND UTILITIES MAY EXIST. CALL ONE CALL CENTER AT 1-800-632-4949 BEFORE DIGGING.

ZONE: HB P.I.N. 1840211477

NOTES:

1.) Areas are by coordinate computation.
2.) Distances are horizontal ground distances
3.) North arrow is referenced to recorded document shown above unless otherwise noted
4.) Building / house tie(s) are perpendicular to property lines unless otherwise noted.
5.) Bearings and distances of title lines shown are from record plat(s) and/or deed(s).
6.) Field measurements are shown in parentheses where significant differences exist from record lot, or where record lot does not close mathematically.
7.) The accuracy of the topographic information shown on this map is accurate to within half of one contour interval over 90% of the site.
8.) RESERVED R/W FOR FUTURE GRADE SEPARATION. THIS AREA WILL BE RELEASED FROM RESERVATION TO THE OWNER ONLY AFTER WRITTEN APPROVAL FROM NCDOT. IF LAND IS GRADED SO THAT FUTURE SLOPES WILL NOT BE NEEDED TO ACCOMMODATE RESERVED R/W. AREA = 11,332.5397
9.) ALL SETBACK DISTANCES WILL BE MEASURED FROM THE RESERVED RIGHT OF WAY LINE.PARKING REQUIRED BY ZONING REGULATIONS SHALL BE PROVIDED OUTSIDE OF THE RESERVED RIGHT OF WAY LINES.OVERFLOW PARKING WILL BE ALLOWED WITHIN THE RESERVED RIGHT OF WAY UNTILL SUCH TIME THAT THE GRADE SEPARATION IS CONSTRUCTED
10) SEWER EASEMENT IS CENTERED ON MAN HOLES EXCEPT AT PROPERTY LINES WHERE THE EASEMENT WAS SCALED FROM BOM 2001 PAGE 1972
11) NO FEMA MAPPED FLOOD ZONE EXISTS ON THIS PROPERTY FIRM PANEL NUMBER 370244 1840 J, DATED MAY 2, 2006

SCALE: 1" = 40'
0' 40' 80' 120' 160'

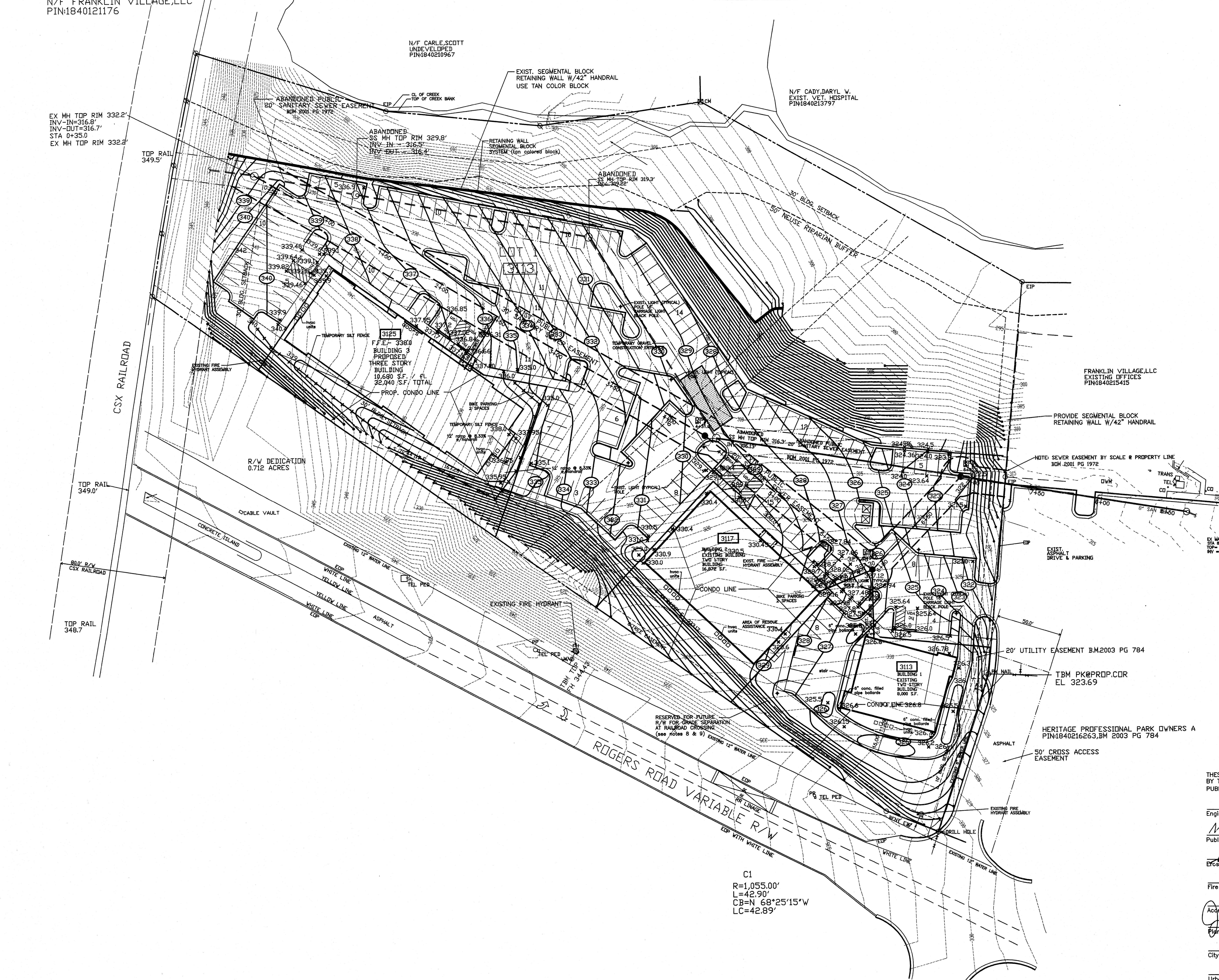
NC GRID FROM BM2001 PG 1972
NAD 83

EROSION CONTROL LEGEND

- TEMPORARY SILT FENCE
- TEMPORARY CONSTRUCTION ENTRANCE

NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP PREPARED BY NIALL GILLESPIE, SURVEYOR AND DATED AUGUST 2007.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT TOWN OF WAKE FOREST STANDARDS, SPECIFICATIONS AND DETAILS.
3. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
4. ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
5. ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH THE TOWN OF WAKE FOREST ZONING AND SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR ADJUSTMENT.
6. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
7. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
8. CONTRACTOR SHALL PAINT SYMBOLS, INSTALL SIGNS AND CONSTRUCT NECESSARY RAMPS, AS PER THE NORTH CAROLINA STATE BUILDING CODE, FOR ALL HANDICAP PARKING SPACES AS NOTED ON PLAN.
9. CONTRACTOR SHALL DELINEATE PARKING SPACE LINES, HANDICAP SYMBOLS, DIRECTIONAL ARROWS, LANE MARKINGS, 'STOP' MESSAGES, ETC., AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
10. CALL NORTH CAROLINA ONE CALL CENTER @ 1-800-632-4949 BEFORE DIGGING.
11. DENUDED AREA IS 12,000 S.F.
12. THIS SITE IS NOT WITHIN A 100 YEAR FLOODWAY FRINGE AREA.
13. BUILDING SETBACKS ARE - FRONT - 30', SIDE - 10', REAR - 30'
14. ALL CURB INLETS & CATCH BASINS TO MEET N.C.D.O.T. STANDARDS & SPECIFICATIONS.
15. ALL SANITARY SEWER MANHOLES WILL REQUIRE A VACUUM TEST, IF NOT PREVIOUSLY DONE.
16. ALL 6' SERVICES AND 4' SERVICES SHALL BE INSPECTED BY TOWN'S CONSTRUCTION INSPECTOR.
17. PROVIDE NPDES REQUIREMENTS ON SITE FOR INSPECTION (MONITORING, RAIN GAUGE, ETC.)
18. NO FEMA MAPPED FLOOD ZONE EXISTS ON THIS PROPERTY, FIRM PANEL # 370244 1840 J, DATED 5-2-06



N/F FRANKLIN VILLAGE,LLC
PIN:1840121176
N/F CARLE,SCOTT
UNDEVELOPED
PIN1840210967
EXIST. SEGMENTAL BLOCK RETAINING WALL W/42" HANDRAIL
USE TAN COLOR BLOCK
N/F CADY,DARYL W.
EXIST. VET. HOSPITAL
PIN1840213797
TOP RAIL 350.7'
TOP RAIL 349.5'
TOP RAIL 349.0'
TOP RAIL 348.7
EX MH TOP RIM 332.2'
INV-IN=316.8'
INV-OUT=316.7'
STA 0+35.0
EX MH TOP RIM 332.2'
ABANDONED PUBLIC 20' SANITARY SEWER EASEMENT
ABANDONED SS MH TOP RIM 329.8'
30' BLDG. SETBACK
50' NEUSE RIPARIAN BUFFER
CSX RAILROAD
R/W DEDICATION 0.712 ACRES
3125
F.F.E. 338.0
BUILDING 3
PROPOSED
THREE STORY
BUILDING
10,680 S.F. / FL
32,040 S.F. TOTAL
PROP. CONDO LINE
TEMPORARY SILT FENCE
FRANKLIN VILLAGE,LLC
EXISTING OFFICES
PIN1840215415
PROVIDE SEGMENTAL BLOCK RETAINING WALL W/42" HANDRAIL
NOTE: SEWER EASEMENT BY SCALE @ PROPERTY LINE BOM 2001 PG 1972
3117
CONDO LINE
EXISTING FIRE HYDRANT
EXIST. ASPHALT DRIVE & PARKING
20' UTILITY EASEMENT B.M.2003 PG 784
TBM PK@PROP.COR
EL 323.69
3113
HERITAGE PROFESSIONAL PARK OWNERS A
PIN1840216263,BM 2003 PG 784
50' CROSS ACCESS EASEMENT
RESERVED FOR FUTURE R/W FOR GRADE SEPARATION AT RAILROAD CROSSING (see notes 8 & 9)
ROGERS ROAD VARIABLE R/W
C1
R=1,055.00'
L=42.90'
CB=N 68°25'15"W
LC=42.89'

10-23-17 BTB REVISED PER STAFF COMMENTS

THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST & CITY OF RALEIGH PUBLIC UTILITIES

[signature]	1/2/18
Engineering Department	Date
[signature]	11/30/17
Public Works Department	Date
[signature]	12-21-17
Erosion & Sediment control	Date
N/A	
Fire Prevention	Date
N/A	
Accessibility	Date
[signature]	2.13.18
Planning Department	Date
N/A	
City of Raleigh Public Utilities	Date
N/A	
Urban Forester	Date

NORTH CAROLINA LICENSED LANDSCAPE ARCHITECT 354 10-23-17

BLAKELY DESIGN GROUP
Landscape Architecture Site Planning
700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
Telephone (919) 870-1868 (919) 870-0742
taylor@blakelydesign.net

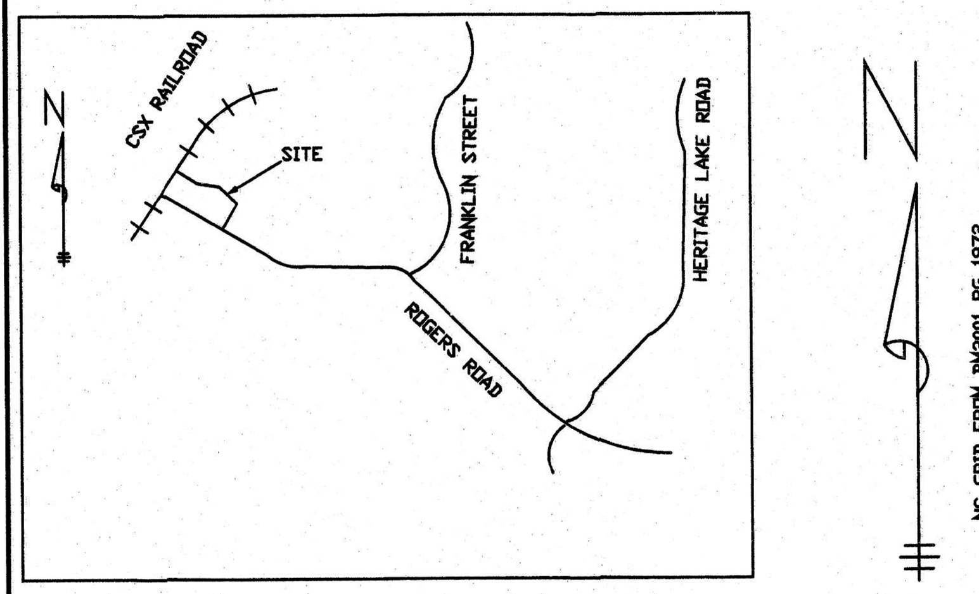
EROSION PLAN

HERITAGE PROFESSIONAL PARK WEST
3125 ROGERS ROAD, WAKE FOREST, N.C.

DATE DEC. 4,07
SCALE 1"=40'
DRAWN BTB
JOB NO.

REVISIONS
1-22-08 BTB REVISED PER TOWN OF WAKE FOREST STAFF COMMENTS
6-16-08 BTB REVISED BUILDINGS # 1 & # 2
8-20-08 BTB REVISED PER TOWN STAFF COMMENTS
10-28-08 BTB REVISED DRIVE AROUND BLDG 1
11-21-08 BTB REVISED DOORS AT ENDS OF BLDG 2
8-25-16 BTB COMBINE BLDG 3 & 4 INTO 3 STORY & ELIMINATE BLDG 5
2-3-17 BTB REVISED HC SPOT GRADES BUILDING 3

SHEET
C-2b



VICINITY MAP
(NO SCALE)

LINE	BEARING	DISTANCE
L 2	N 09°12'17"E	48.05'
L 3	N 10°10'46"E	52.79'
L 4	N 11°08'47"E	50.10'
L 5	N 12°08'33"E	36.66'

LEGEND
- CONCRETE MONUMENT
- COMPUTED POINT
- IRON PIPE SET
- EXISTING IRON PIPE
- STREET ADDRESS
- PP POWER POLE
- LP LIGHT POLE
- -E- OVERHEAD ELECTRIC LINES
- -T- OVERHEAD TELEPHONE LINES
- -X- FENCE
- CENTER LINE CREEK
- WV WATER VALVE
- FH FIRE HYDRANT
- CO SANITARY SEWER CLEAN OUT
- MH SANITARY SEWER MANHOLE
- WM WATER METER
- CB CATCH BASIN
- DI DROP INLET
- C&G CURB AND GUTTER
- EOP EDGE OF PAVEMENT
- BOC BACK OF CURB
- FES FLARED END SECTION
- RCP REINFORCED CONCRETE PIPE

REFERENCES
BM 1999 PG 2330
BM 2001 PG 1972
BM 2001 PG 1973
BM 2003 PG 784
DB 9016 PG 638 (RESTRICTIVE COVENANTS)

LOT 1

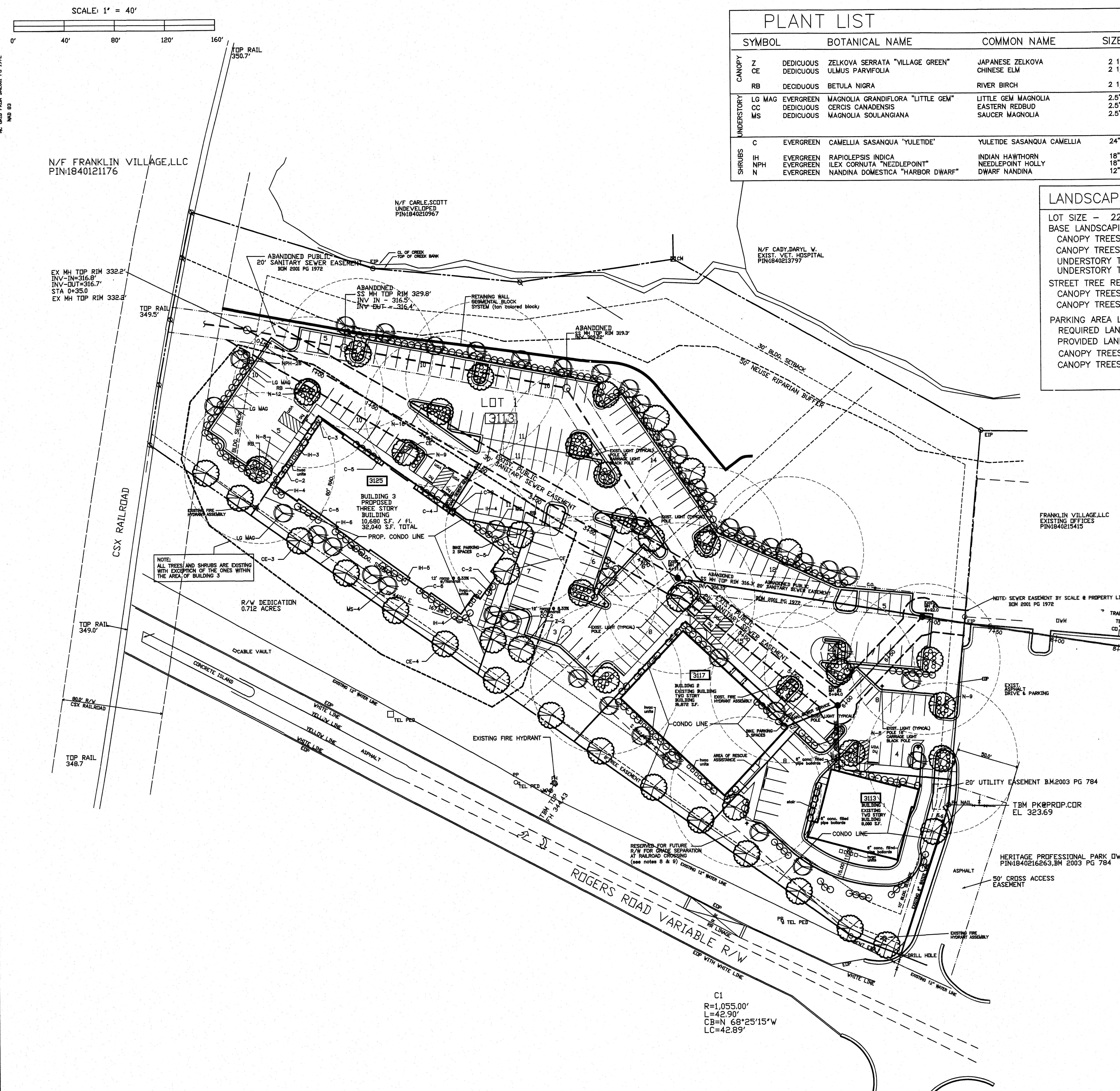
AREA FROM BM 2001 PG 1972
5.272 ACRES (INCORRECT)
229 636 SQ FT (INCORRECT)

AREA AS COMPUTED
5.069 ACRES
220 814 SQ FT

NOTE: ONLY UTILITIES WITH VISIBLE EVIDENCE LOCATED. UNDERGROUND UTILITY LINES SHOWN ARE APPROXIMATE AND EXTENT IS ESTIMATED & MAY BE INCOMPLETE. EXCAVATION MAY BE REQUIRED TO VERIFY LOCATIONS. OTHER UNDERGROUND UTILITIES MAY EXIST. CALL ONE CALL CENTER AT 1-800-632-4949 BEFORE DIGGING.

ZONE: HB P.I.N. 1840211477

NOTES:
1.) Areas are by coordinate computation.
2.) Distances are horizontal ground distances
3.) North arrow is referenced to recorded document shown above unless otherwise noted
4.) Building / house tie(s) are perpendicular to property lines unless otherwise noted.
5.) Bearings and distances of title lines shown are from record plat(s) and/or deed(s).
6.) Field measurements are shown in parentheses where significant differences exist from record lot, or where record lot does not close mathematically.
7.) The accuracy of the topographic information shown on this map is accurate to within half of one contour interval over 90% of the site.
8.) RESERVED R/W FOR FUTURE GRADE SEPARATION. THIS AREA WILL BE RELEASED FROM RESERVATION TO THE OWNER ONLY AFTER WRITTEN APPROVAL FROM NCDOT. IF LAND IS GRADED SO THAT FUTURE SLOPES WILL NOT BE NEEDED TO ACCOMMODATE RESERVED R/W. AREA = 11,332.5397
9.) ALL SETBACK DISTANCES WILL BE MEASURED FROM THE RESERVED RIGHT OF WAY LINE.PARKING REQUIRED BY ZONING REGULATIONS SHALL BE PROVIDED OUTSIDE OF THE RESERVED RIGHT OF WAY LINES.OVERFLOW PARKING WILL BE ALLOWED WITHIN THE RESERVED RIGHT OF WAY UNTILL SUCH TIME THAT THE GRADE SEPARATION IS CONSTRUCTED
10) SEWER EASEMENT IS CENTERED ON MAN HOLES EXCEPT AT PROPERTY LINES WHERE THE EASEMENT WAS SCALED FROM BOM 2001 PAGE 1972
11) NO FEMA MAPPED FLOOD ZONE EXISTS ON THIS PROPERTY FIRM PANEL NUMBER 370244 1840 J, DATED MAY 2, 2006



PLANT LIST

NEW PLANTS FOR AREA AROUND BUILDING 3 ONLY

	SYMBOL		BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
CANOPY	Z	DEDICUOUS	ZELKOVA SERRATA "VILLAGE GREEN"	JAPANESE ZELKOVA	2 1/2" CAL.	2	10' MIN. HT. B. & B.
	CE	DEDICUOUS	ULMUS PARVIFOLIA	CHINESE ELM	2 1/2" CAL.	9	10' MIN. HT. B. & B.
	RB	DECIDUOUS	BETULA NIGRA	RIVER BIRCH	2 1/2" CAL.	3	10' MIN. HT. B. & B.
UNDERSTORY	LG MAG	EVERGREEN	MAGNOLIA GRANDIFLORA "LITTLE GEM"	LITTLE GEM MAGNOLIA	2.5" CAL., 8' HT.	2	8' MIN. HT. B. & B.
	CC	DEDICUOUS	CERCIS CANADENSIS	EASTERN REDBUD	2.5" CAL., 8' HT.	2	8' MIN. HT. B. & B.
	MS	DEDICUOUS	MAGNOLIA SOULANGIANA	SAUCER MAGNOLIA	2.5" CAL., 8' HT.	5	8' MIN. HT. B. & B.
SHRUBS	C	EVERGREEN	CAMELLIA SASANQUA 'YULETIDE'	YULETIDE SASANQUA CAMELLIA	24" HT.	32	24" MIN. HT. CONT.
	IH	EVERGREEN	RAPIOLEPSIS INDICA	INDIAN HAWTHORN	18"-24" HT.	26	18" MIN. HT. CONT.
	NPH	EVERGREEN	ILEX CORNUTA "NEEDLEPOINT"	NEEDLEPOINT HOLLY	18"-24" HT.	26	18" MIN. HT. CONT.
	N	EVERGREEN	NANDINA DOMESTICA "HARBOR DWARF"	DWARF NANDINA	12"-15" HT.	29	12" MIN. HT. CONT.

LANDSCAPE CALCULATIONS

LOT SIZE – 220,805 S.F.
BASE LANDSCAPING REQUIRED
CANOPY TREES REQUIRED 1/5000 S.F. = 45 TREES
CANOPY TREES PROPOSED = 42 TREES+
UNDERSTORY TREES REQUIRED 1/5000 S.F. = 45 TREES
UNDERSTORY TREES PROPOSED (INCL EVERGR.)= 42 TREES+
STREET TREE REQUIREMENTS 724.50 l.f.
CANOPY TREES REQUIRED 1/50 L.F. = 15 TREES
CANOPY TREES PROPOSED = 15 TREES
PARKING AREA LANDSCAPING
REQUIRED LANDSCAPE ISLANDS – 19 @ 160 S.F.
PROVIDED LANDSCAPE ISLANDS – 19 @ 160 S.F.
CANOPY TREES REQUIRED 1/PER ISLAND = 19 TREES
CANOPY TREES PROPOSED = 19 TREES

STANDARD WAKE FOREST NOTES

1. All existing trees and shrubs designated to remain but are damaged or destroyed will be replaced in like size and kind by the contractor.
2. It shall be the responsibility of the developer and/or property owner to ensure that all landscaped areas, buffers, fencing, and Tree Save Areas are installed and maintained in good growing conditions, appearances, and usefulness.
3. Maintenance of landscape shall be done in accordance with ANSI A300 Standard for Tree Care Operations, Tree, Shrub, and Other Woody Plant Maintenance.
4. All planting materials specified by the landscape plan shall be installed prior to the issuance of the Certificate of Occupancy. Exceptions may be granted by the administrative officer upon petition by the developer of the project. The petition must state the reason for the exception and the new planting schedule to be followed. Exceptions may be granted for a period of one (1) year due to the unavailability of the specified plant material and or weather conditions that prohibit the completion of the project or jeopardize the health of the plant material. Granted exceptions shall be secured by a performance guarantee, such as cash deposit, letter of credit, or other reasonable collateral.
5. Plantings installed to meet the baseline vegetation requirement and other requirements shall be chosen from the Official Planting List as outlined in the Landscape Standards Section of the Town of Wake Forest Zoning Ordinance. Substitutions may be made only by approval of the Administrative Officer.
6. At the time of planting, all trees shall be a minimum of two and one-half (2 1/2) inches in caliper and eight (8) feet tall.
7. At the time of planting, all shrubs shall be a minimum of eighteen(18) inches in height measured from grade, and a minimum crown width of fifteen (15) inches, or as specified in the latest edition of the American Standard for Nursery Stock. Shrubs required in a buffer shall be a minimum of three (3) feet in height at planting and shall attain a mature height of six (6) feet or more.
8. Outdoor storage, loading, service areas, and at grade mechanical units shall be screened by evergreen plantings of sufficient mature height and spacing to completely screen them from public rights-of-way and adjacent properties.
9. All planting areas that are adjacent to parking or vehicular circulation areas shall be protected from vehicular intrusion or damage from excessive vehicular lubricants or fuels.
10. Landscaping shall not obstruct the view of motorists using any street, parking aisle, private driveway or the approach to any street intersection so as to constitute a traffic hazard or a condition dangerous to public safety.
11. Where buffers and screens are required, the Town of Wake Forest inspector may require supplemental plantings based on actual field conditions.
12. Property owners will be solely responsibile for salvaging or replacing any fences, walls, landscaping, sprinkler systems property improvements or other amenities within the rights-of-way, drainage or utility easements that are impacted due to maintenance.

11-30-17 BTB REVISED PER STAFF COMMENTS
10-23-17 BTB REVISED PER STAFF COMMENTS

THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST & CITY OF RALEIGH PUBLIC UTILITIES

Engineering Department	Date 2/12/18
Public Works Department	Date
Erosion & Sediment control	Date
Fire Prevention	Date
Accessibility	Date 2.13.18
Planning Department	Date
City of Raleigh Public Utilities	Date 2/13/18
Urban Forester	Date

NORTH CAROLINA REGISTERED LANDSCAPE ARCHITECT 354 B. TAYLOR BLAKELY 1-23-18

BLAKELY DESIGN GROUP
Landscape Architecture Site Planning
700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
Telephone (919) 870-1868 Fax (919) 870-0752
E-Mail – taylor@blakelydesign.net

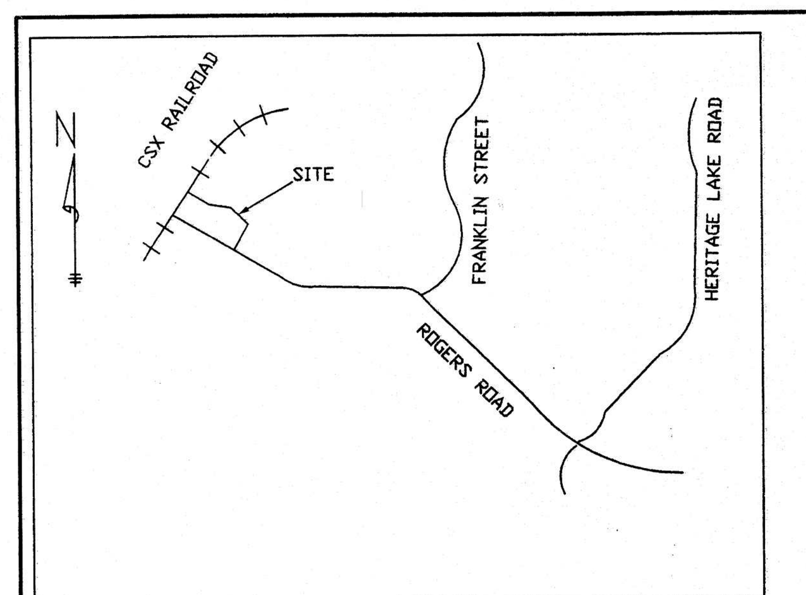
LANDSCAPE PLAN

HERITAGE PROFESSIONAL PARK WEST
3125 ROGERS ROAD, WAKE FOREST, N.C.

DATE DEC. 4,07
SCALE 1"=40'
DRAWN BTB
JOB NO.

REVISIONS
1-22-08 BTB REVISED PER TOWN OF WAKE FOREST STAFF COMMENTS
6-16-08 BTB REVISED BUILDINGS # 1 & # 2
8-20-08 BTB REVISED PER TOWN STAFF COMMENTS
10-28-08 BTB REVISED DRIVE AROUND BLDG 1
11-21-08 BTB REVISED DOORS AT ENDS OF BLDG 2
8-25-16 BTB COMBINE BLDG 3 & 4 INTO 3 STORY & ELIMINATE BLDG 5
2-3-17 BTB REVISED HC SPOT GRADES BUILDING 3
1-23-18 BTB REVISED PLANTS AROUND BLDG 3

SHEET
C-3



VICINITY MAP
(NO SCALE)

LINE	BEARING	DISTANCE
L 2	N 09°12'17"E	48.05'
L 3	N 10°10'46"E	52.79'
L 4	N 11°08'47"E	50.10'
L 5	N 12°08'33"E	36.66'

LEGEND

⊠	CONCRETE MONUMENT
○	COMPUTED POINT
○	IRON PIPE SET
○	EXISTING IRON PIPE
????	STREET ADDRESS
PP	POWER POLE
LP	LIGHT POLE
-E-	OVERHEAD ELECTRIC LINES
-T-	OVERHEAD TELEPHONE LINES
-X-	FENCE
——··	CENTER LINE CREEK
WV	WATER VALVE
FH	FIRE HYDRANT
CO	SANITARY SEWER CLEAN OUT
MH	SANITARY SEWER MANHOLE
WM	WATER METER
CB	CATCH BASIN
DI	DROP INLET
C&G	CURB AND GUTTER
EOP	EDGE OF PAVEMENT
BOC	BACK OF CURB
FES	FLARED END SECTION
RCP	REINFORCED CONCRETE PIPE

REFERENCES

BM 1999 PG 2330
BM 2001 PG 1972
BM 2001 PG 1973
BM 2003 PG 784
DB 9016 PG 638 (RESTRICTIVE COVENANTS)

LOT 1

AREA FROM BM 2001 PG 1972
5.272 ACRES (INCORRECT)
229 636 SQ FT (INCORRECT)

AREA AS COMPUTED
5.069 ACRES
220 814 SQ FT

NOTE: ONLY UTILITIES WITH VISIBLE EVIDENCE LOCATED. UNDERGROUND UTILITY LINES SHOWN ARE APPROXIMATE AND EXTENT IS ESTIMATED & MAY BE INCOMPLETE. EXCAVATION MAY BE REQUIRED TO VERIFY LOCATIONS. OTHER UNDERGROUND UTILITIES MAY EXIST. CALL ONE CALL CENTER AT 1-800-632-4949 BEFORE DIGGING.

ZONE: HB   P.I.N.   1840211477

NOTES:

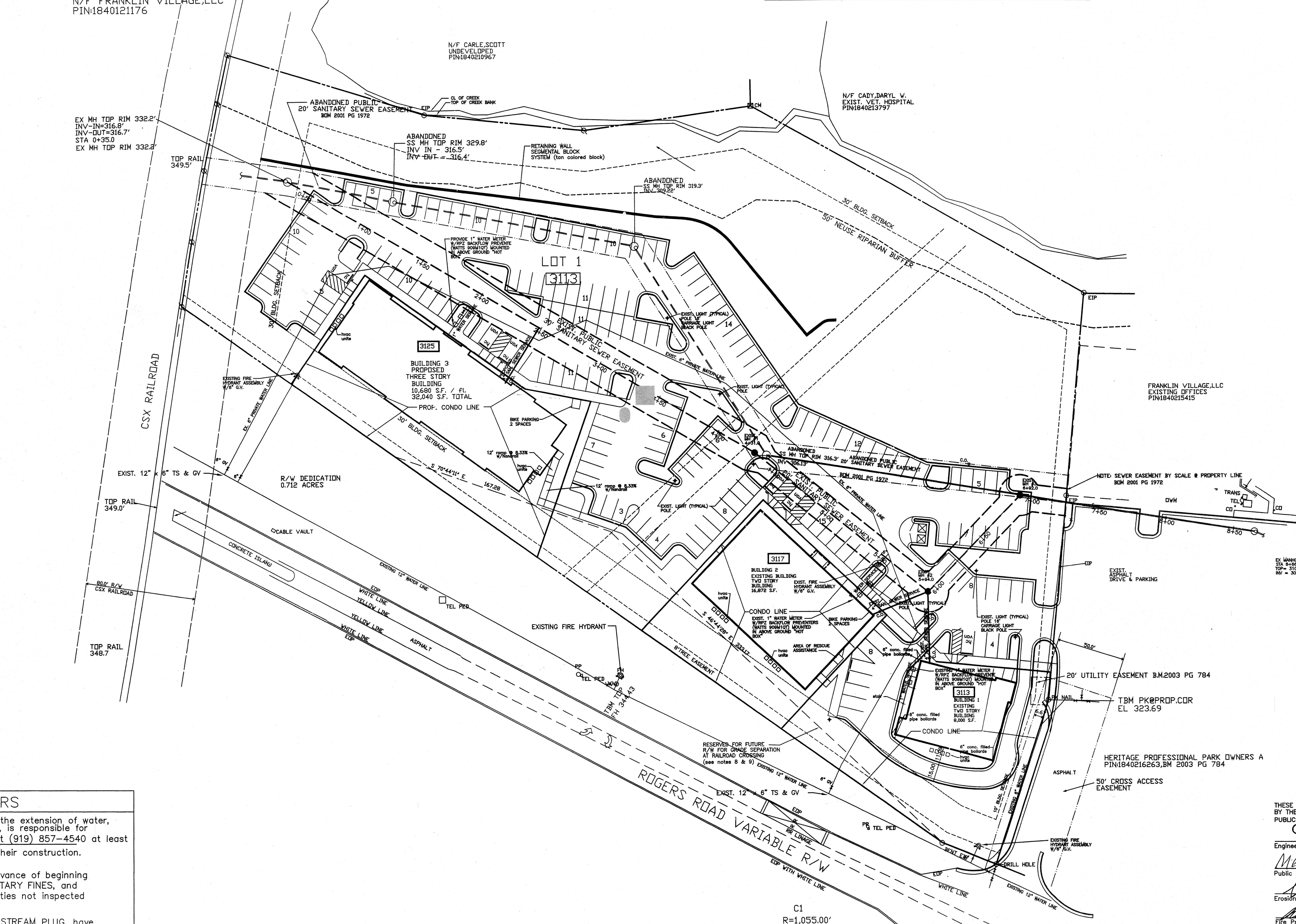
1.) Areas are by coordinate computation.
2.) Distances are horizontal ground distances
3.) North arrow is referenced to recorded document shown above unless otherwise noted
4.) Building / house tie(s) are perpendicular to property lines unless otherwise noted.
5.) Bearings and distances of title lines shown are from record plat(s) and/or deed(s).
6.) Field measurements are shown in parentheses where significant differences exist from record lot, or where record lot does not close mathematically.
7.) The accuracy of the topographic information shown on this map is accurate to within half of one contour interval over 90% of the site.
8.) RESERVED R/W FOR FUTURE GRADE SEPARATION. THIS AREA WILL BE RELEASED FROM RESERVATION TO THE OWNER ONLY AFTER WRITTEN APPROVAL FROM NCDOT. IF LAND IS GRADED SO THAT FUTURE SLOPES WILL NOT BE NEEDED TO ACCOMMODATE RESERVED R/W. AREA = 11,332.5397
9.) ALL SETBACK DISTANCES WILL BE MEASURED FROM THE RESERVED RIGHT OF WAY LINE.PARKING REQUIRED BY ZONING REGULATIONS SHALL BE PROVIDED OUTSIDE OF THE RESERVED RIGHT OF WAY LINES.OVERFLOW PARKING WILL BE ALLOWED WITHIN THE RESERVED RIGHT OF WAY UNTILL SUCH TIME THAT THE GRADE SEPARATION IS CONSTRUCTED
10) SEWER EASEMENT IS CENTERED ON MAN HOLES EXCEPT AT PROPERTY LINES WHERE THE EASEMENT WAS SCALED FROM BOM 2001 PAGE 1972
11) NO FEMA MAPPED FLOOD ZONE EXISTS ON THIS PROPERTY FIRM PANEL NUMBER 370244 1840 J, DATED MAY 2, 2006

NC GRID FROM BM2001 PG 1972
NAD 83

SCALE: 1" = 40'
0' 40' 80' 120' 160'

NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP PREPARED BY NIALL GILLESPIE, SURVEYOR AND DATED AUGUST 2007.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT TOWN OF WAKE FOREST STANDARDS, SPECIFICATIONS AND DETAILS.
3. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
4. ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
5. ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH THE TOWN OF WAKE FOREST ZONING AND SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR ADJUSTMENT.
6. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPPROXIMATE. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
7. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
8. CONTRACTOR SHALL PAINT SYMBOLS, INSTALL SIGNS AND CONSTRUCT NECESSARY RAMPS, AS PER THE NORTH CAROLINA STATE BUILDING CODE, FOR ALL HANDICAP PARKING SPACES AS NOTED ON PLAN.
9. CONTRACTOR SHALL DELINEATE PARKING SPACE LINES, HANDICAP SYMBOLS, DIRECTIONAL ARROWS, LANE MARKINGS, 'STOP' MESSAGES, ETC., AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
10. CALL NORTH CAROLINA ONE CALL CENTER @ 1-800-632-4949 BEFORE DIGGING.
11. DENUDED AREA IS 12,000 S.F.
12. THIS SITE IS NOT WITHIN A 100 YEAR FLOODWAY FRINGE AREA.
13. BUILDING SETBACKS ARE - FRONT - 30', SIDE - 10', REAR - 30'
14. ALL CURB INLETS & CATCH BASINS TO MEET N.C.D.O.T. STANDARDS & SPECIFICATIONS.
15. ALL SANITARY SEWER MANHOLES WILL REQUIRE A VACUUM TEST, IF NOT PREVIOUSLY DONE.
16. ALL 6" SERVICES AND 4" SERVICES SHALL BE INSPECTED BY TOWN'S CONSTRUCTION INSPECTOR.
17. PROVIDE NPDES REQUIREMENTS ON SITE FOR INSPECTION (MONITORING, RAIN GAUGE, ETC.)
18. NO FEMA MAPPED FLOOD ZONE EXISTS ON THIS PROPERTY, FIRM PANEL # 370244 1840 J, DATED 5-2-06



ATTENTION CONTRACTORS

The CONSTRUCTION CONTRACTOR responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for CONTACTING the PUBLIC UTILITIES DEPARTMENT at (919) 857-4540 at least TWENTY FOUR HOURS prior to beginning any of their construction.

FAILURE to notify both CITY DEPARTMENTS in advance of beginning construction, will result in the issuance of MONETARY FINES, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for INSPECTION, INSTALL A DOWNSTREAM PLUG, have PERMITTED PLANS on the JOBSITE, or any other VIOLATION OF CITY OF RALEIGH STANDARDS will result in a FINE and POSSIBLE EXCLUSION from futute work in the CITY OF RALEIGH.

10-23-17 BTB REVISED PER STAFF COMMENTS

THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST & CITY OF RALEIGH PUBLIC UTILITIES

Engineering Department	Date 1/2/18
Public Works Department	Date 11/30/17
Erosion & Sediment control	Date 12-21-17
Fire Prevention	Date 11-30-17
Accessibility NA	Date
Planning Department	Date 2.13.18
City of Raleigh Public Utilities BR	Date 12/11/17
Urban Forester N/A	Date

BLAKELY DESIGN GROUP

Landscape Architecture   Site Planning

700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
Telephone (919) 870-1868   Fax (919) 870-0752
E-Mail - taylor@blakelydesign.net

UTILITY PLAN

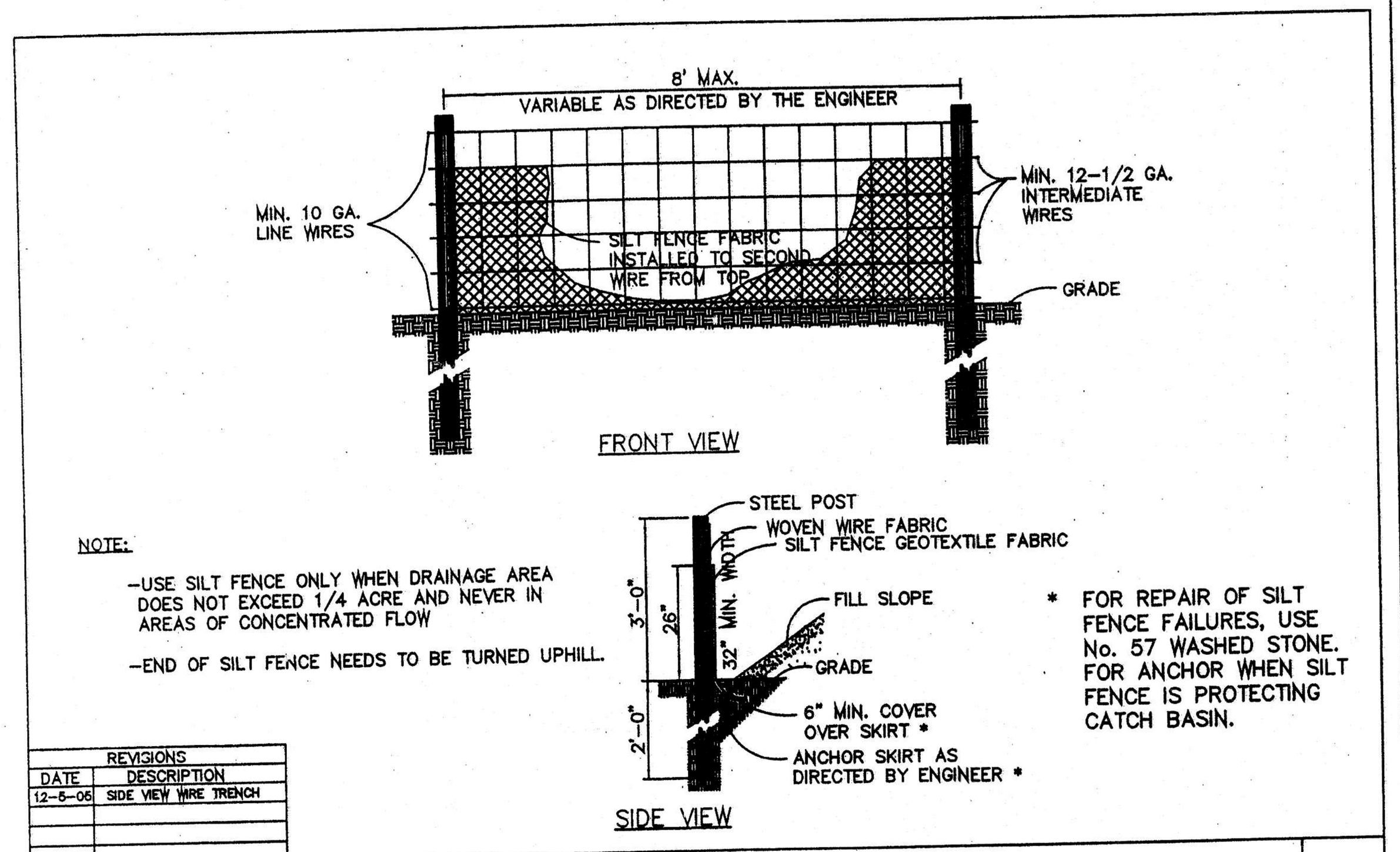
HERITAGE PROFESSIONAL PARK WEST

3125 ROGERS ROAD, WAKE FOREST, N.C.

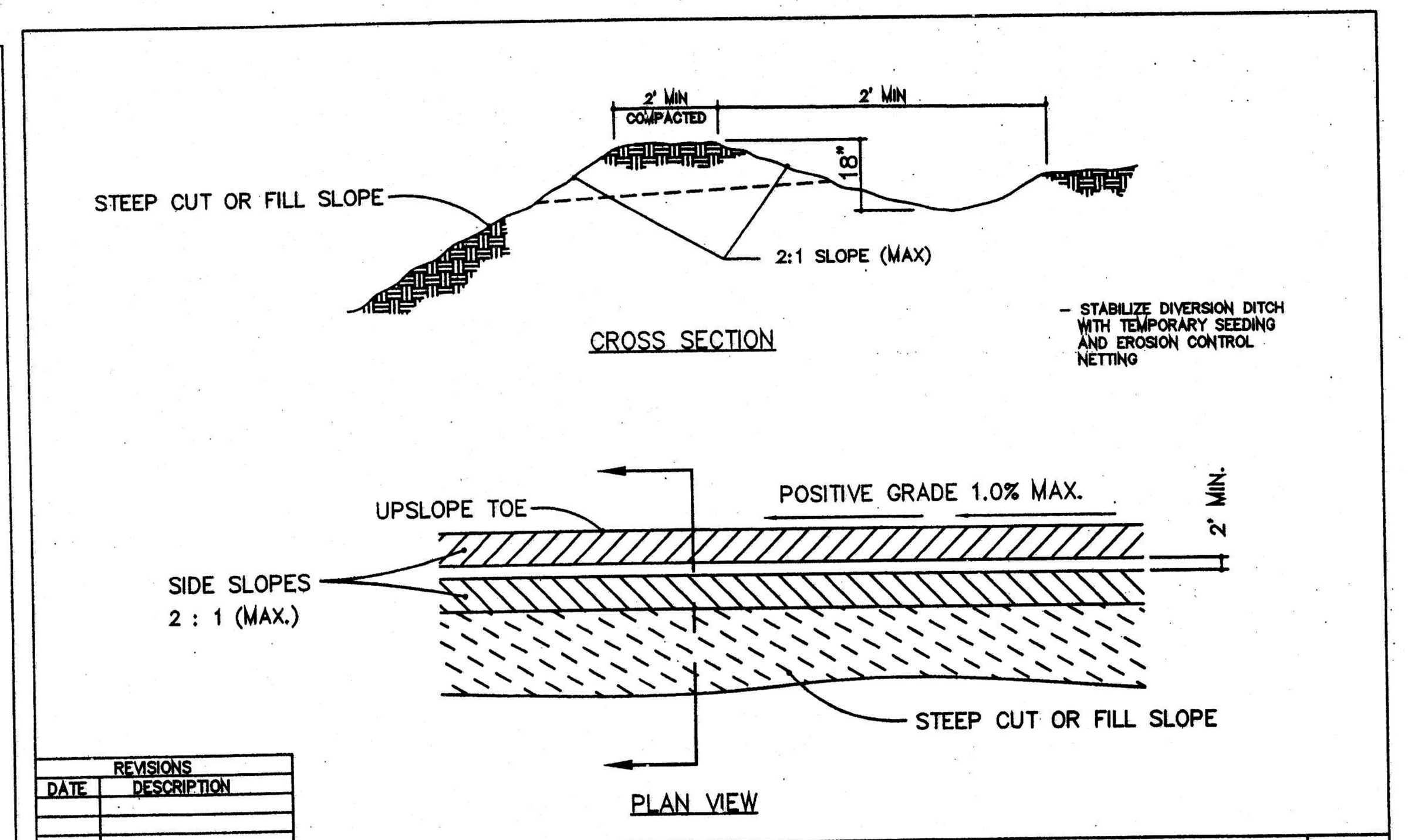
DATE	DEC. 4,07
SCALE	1"=40'
DRAWN	BTB
JOB NO.	

REVISIONS
1-22-08 BTB REVISED PER TOWN OF WAKE FOREST STAFF COMMENTS
6-16-08 BTB REVISED BUILDINGS # 1 & # 2
8-20-08 BTB REVISED PER TOWN STAFF COMMENTS
10-28-08 BTB REVISED DRIVE AROUND BLDG 1
11-21-08 BTB REVISED DOORS AT ENDS OF BLDG 2
8-25-16 BTB COMBINE BLDG 3 & 4 INTO 3 STORY & ELIMINATE BLDG 5
2-3-17 BTB REVISED HC SPOT GRADES BUILDING 3

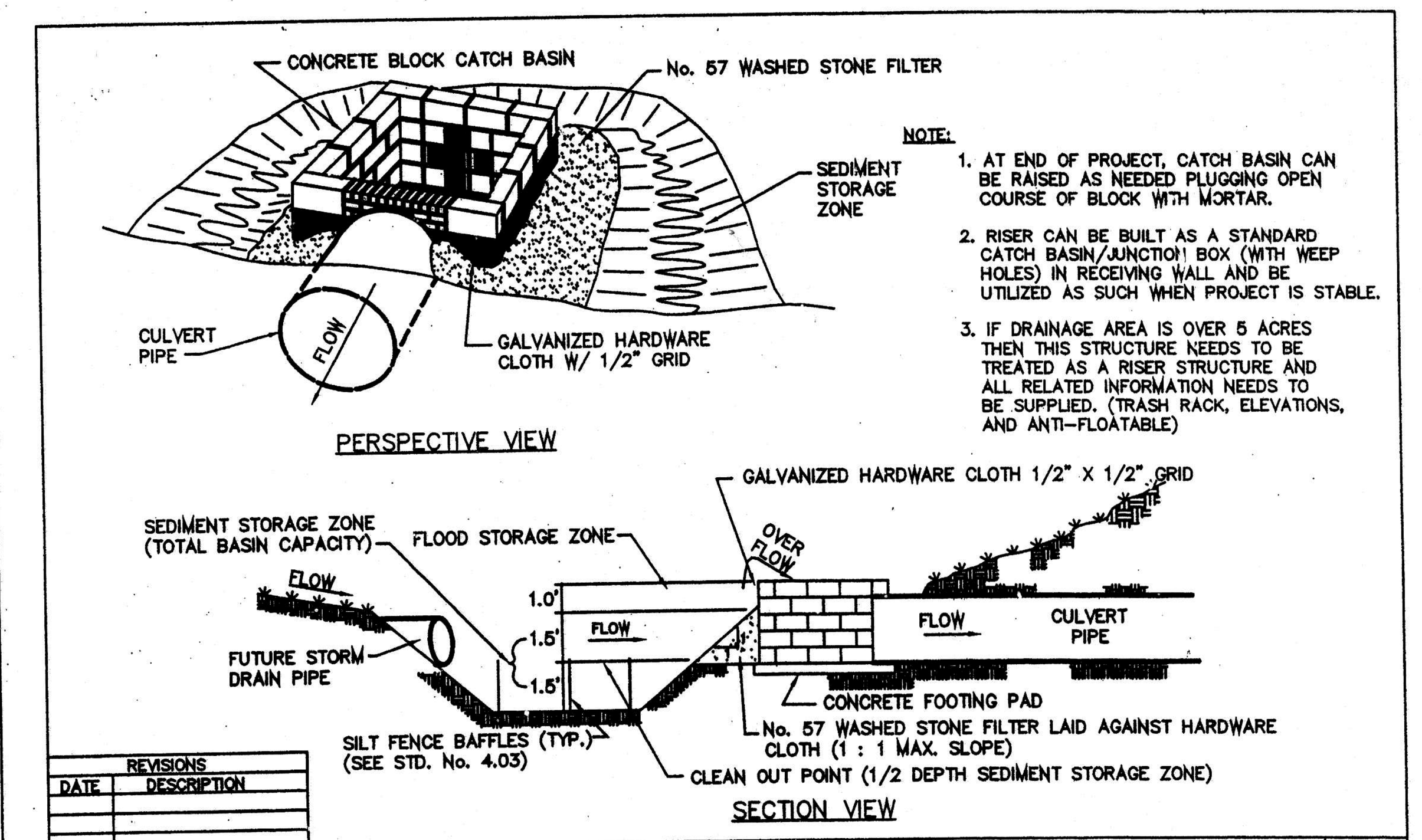
SHEET
C-4



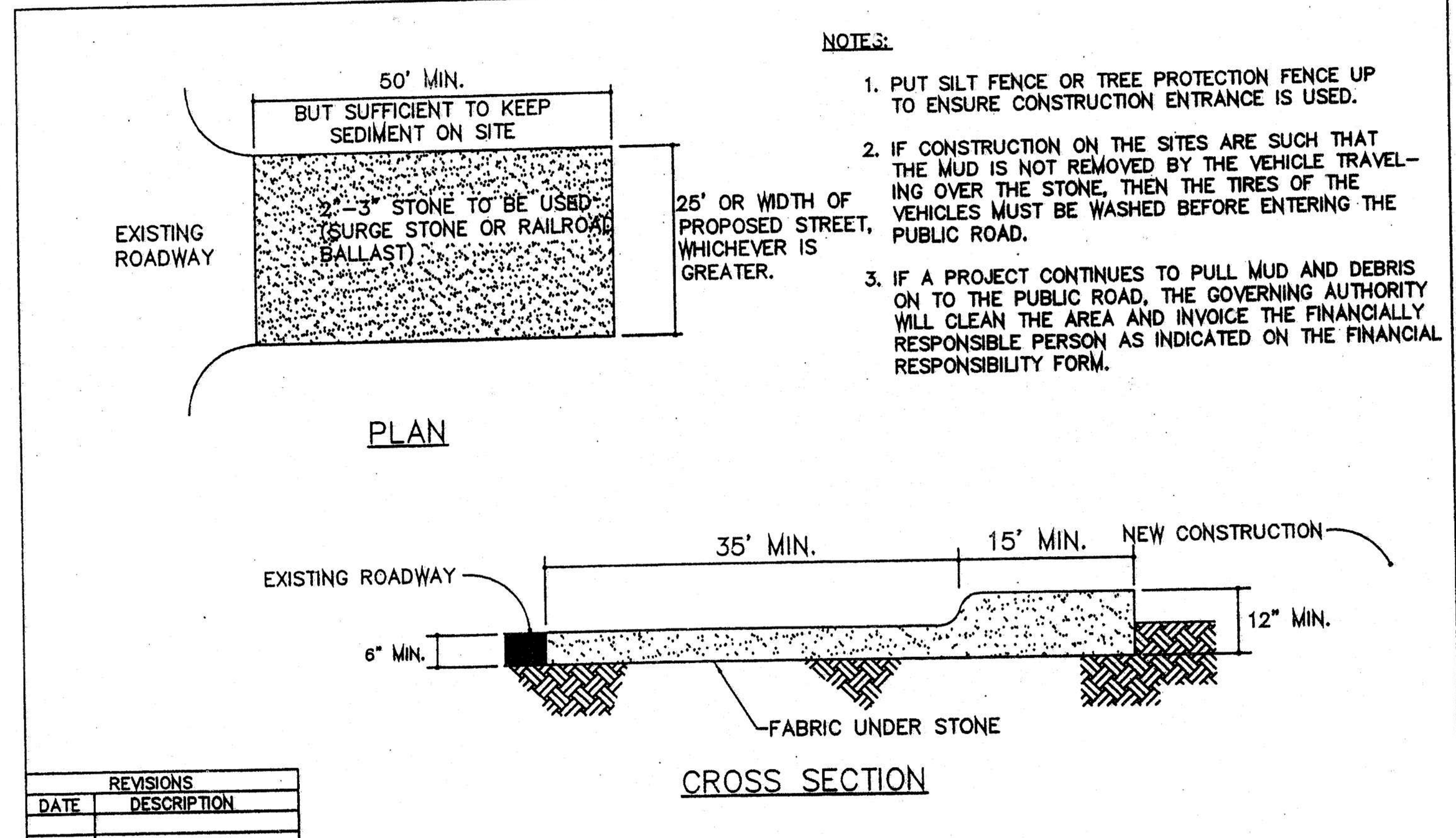
STANDARD TEMPORARY SILT FENCE 1



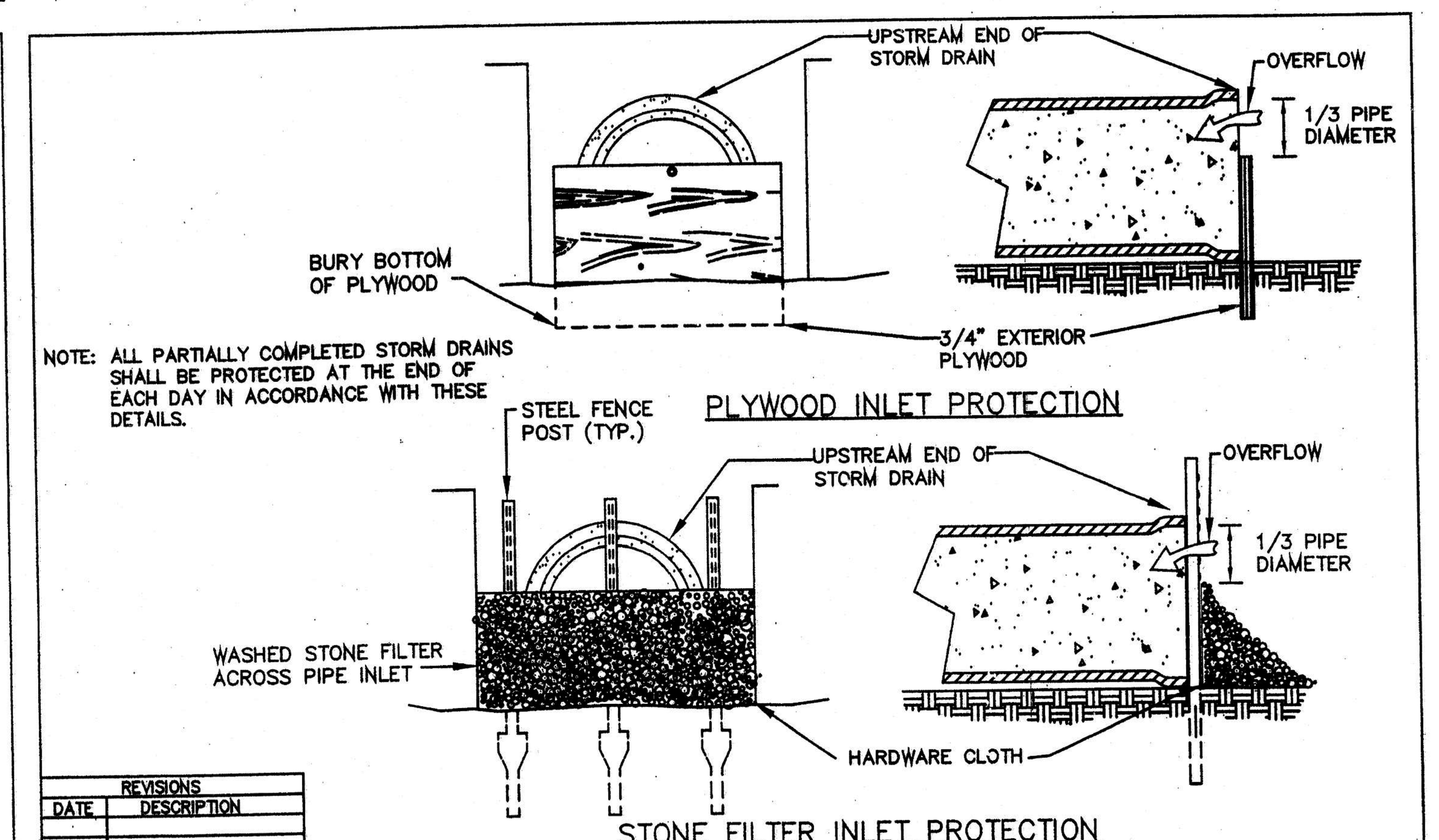
DIVERSION DITCH 9



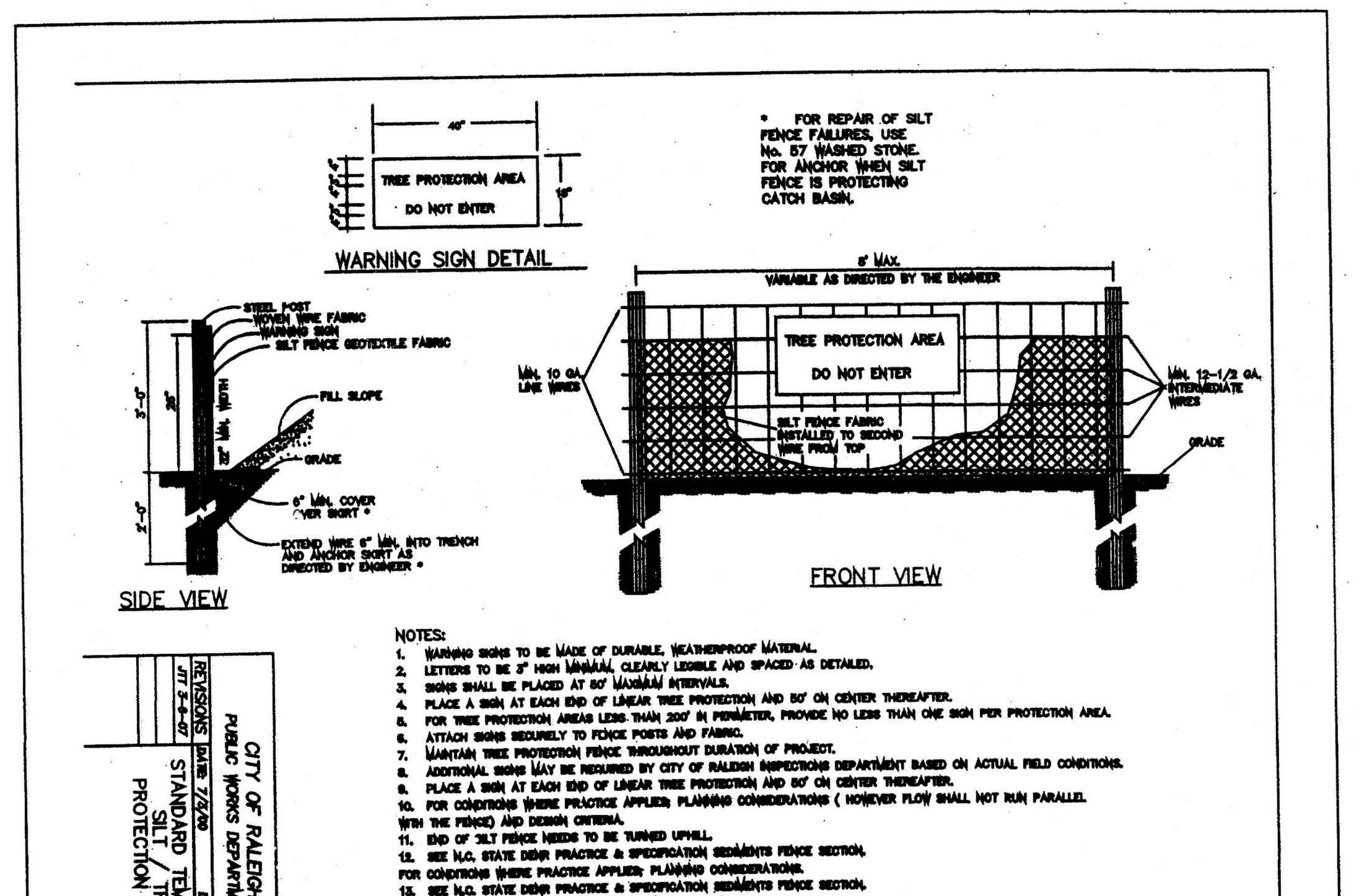
CATCH BASIN RISER/FILTER 5



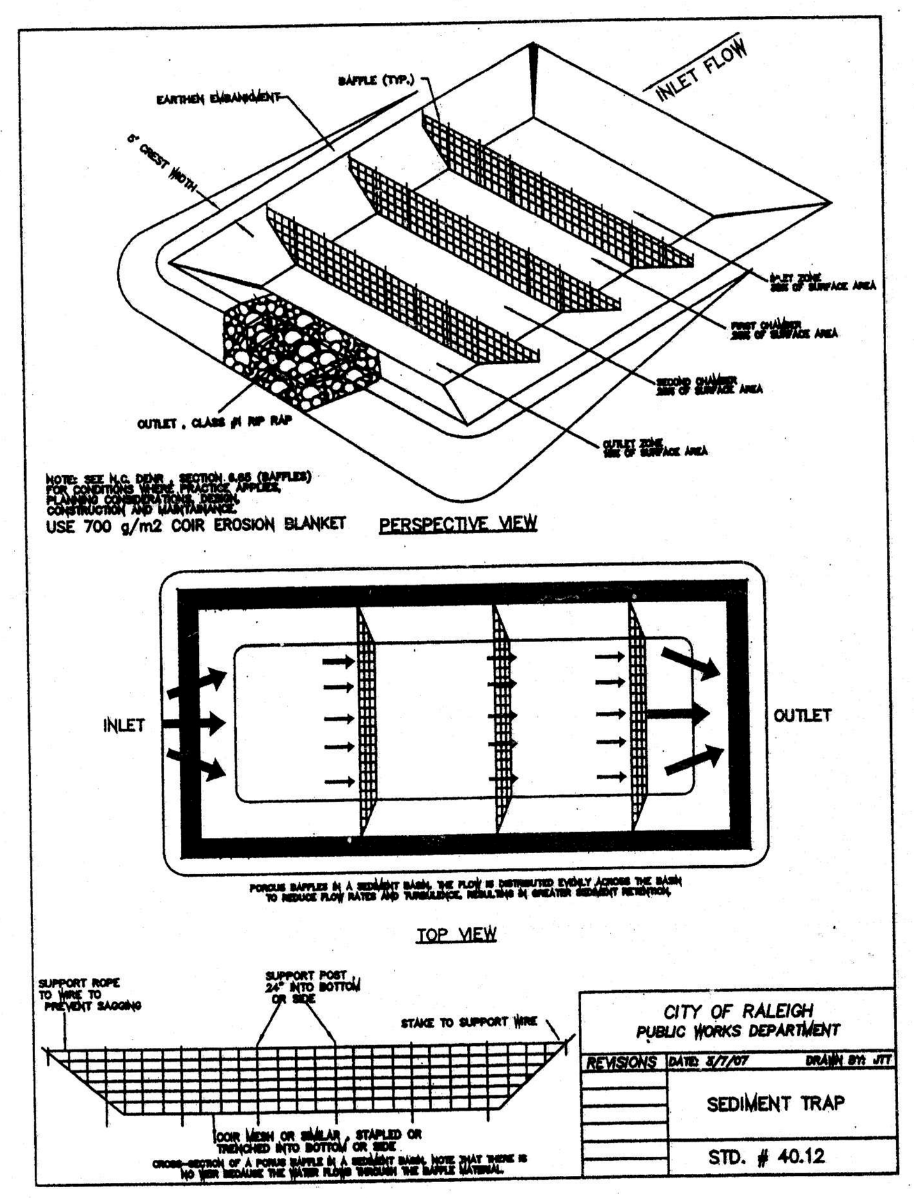
CONSTRUCTION ENTRANCE 7

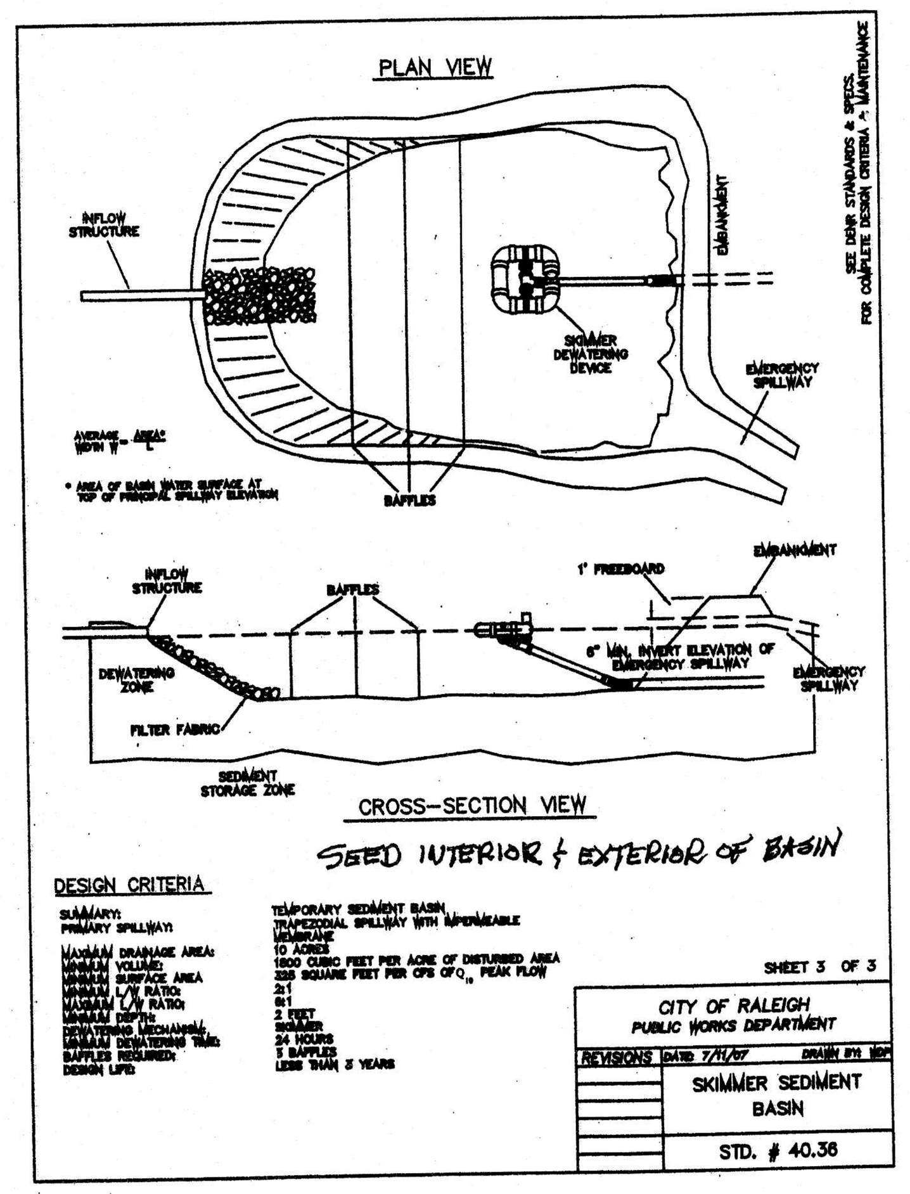


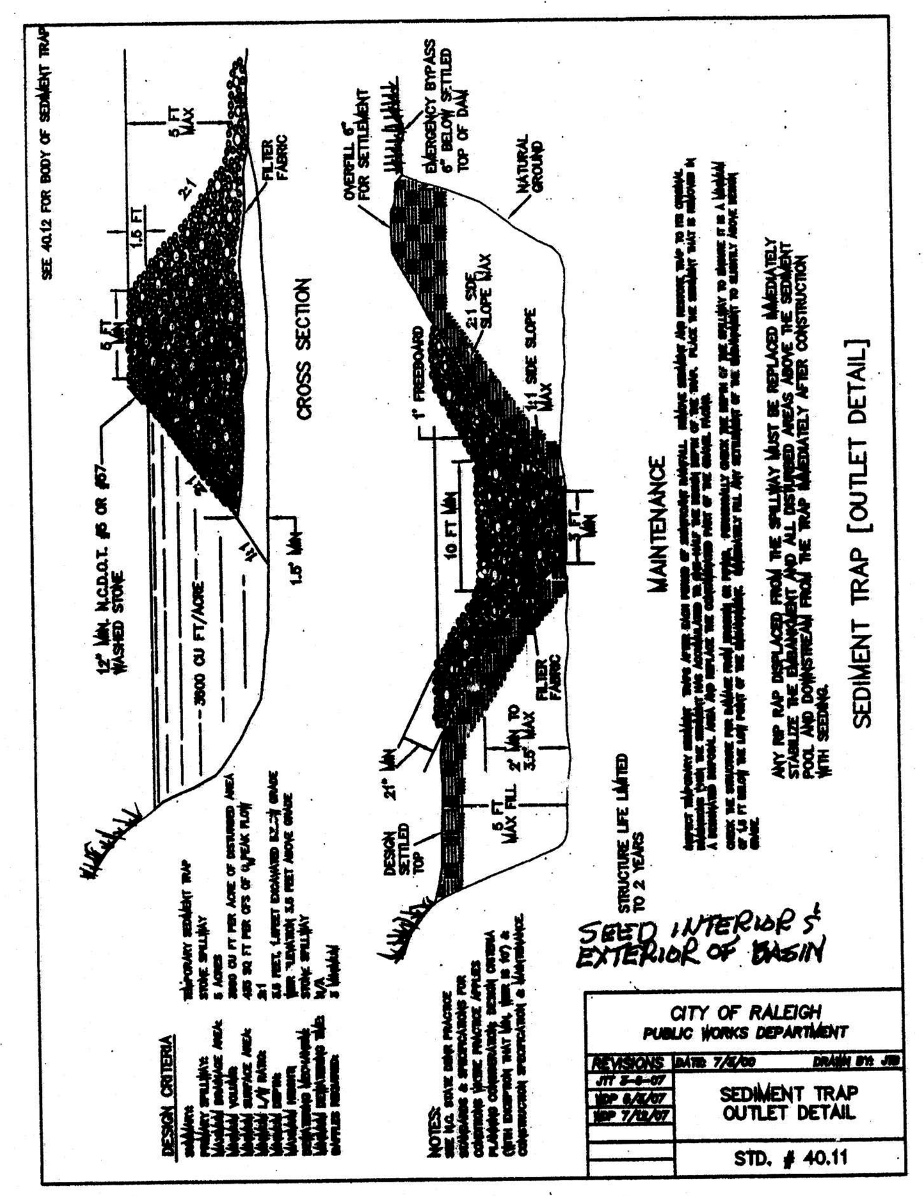
PIPE INLET PROTECTION (PLYWOOD AND STONE) 12

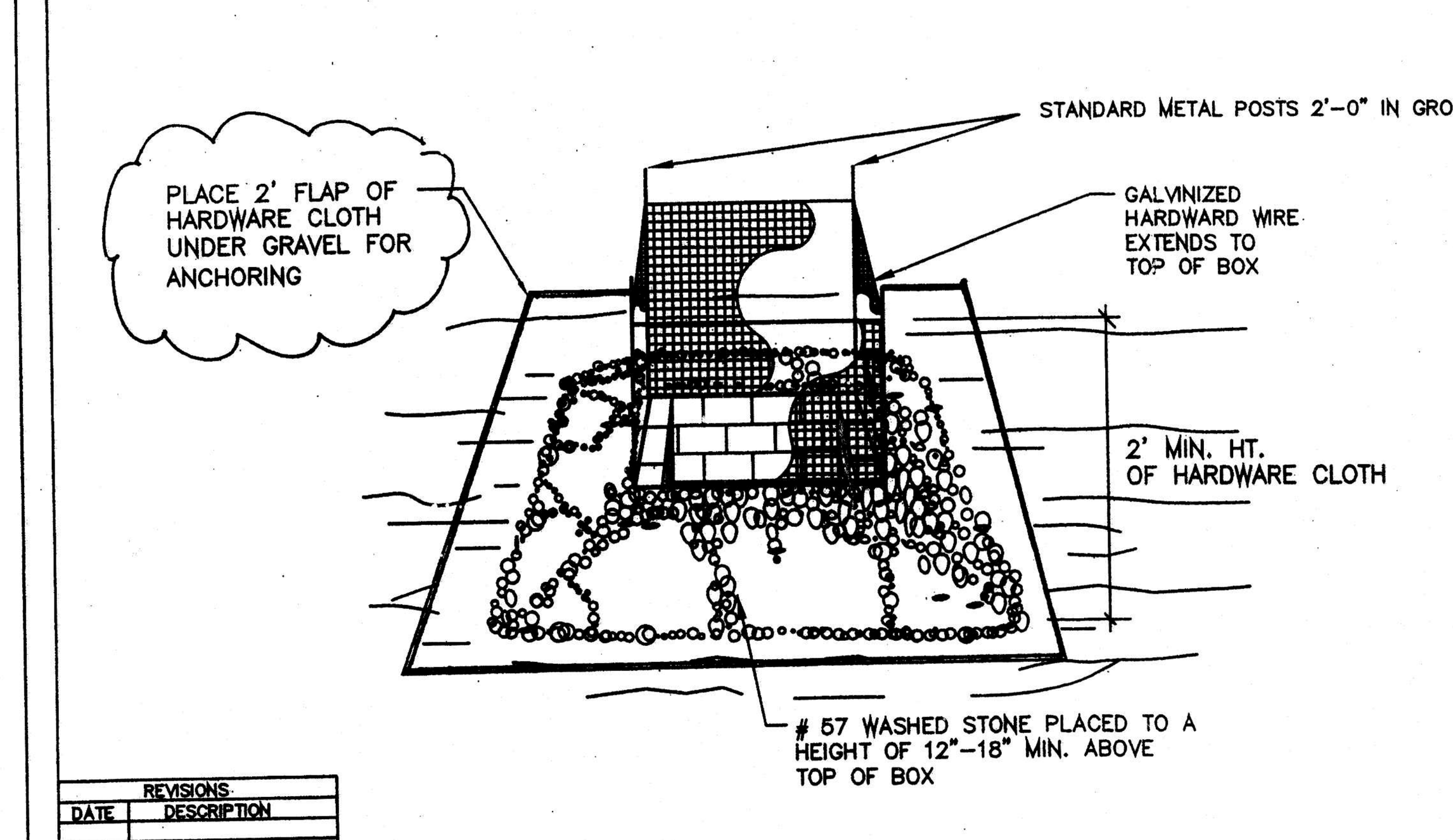


STANDARD TEMPORARY SILT / TREE PROTECTION FENCE

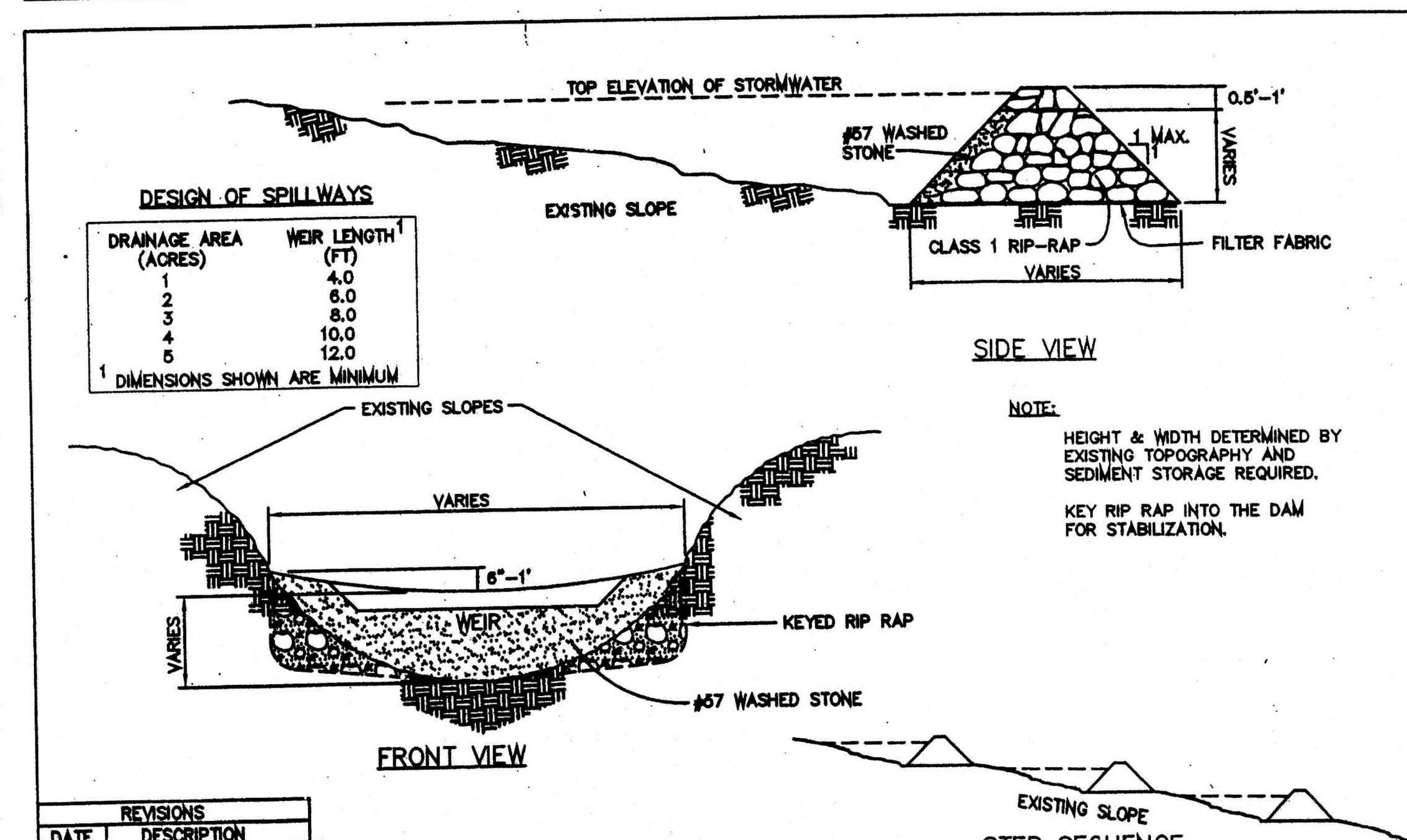




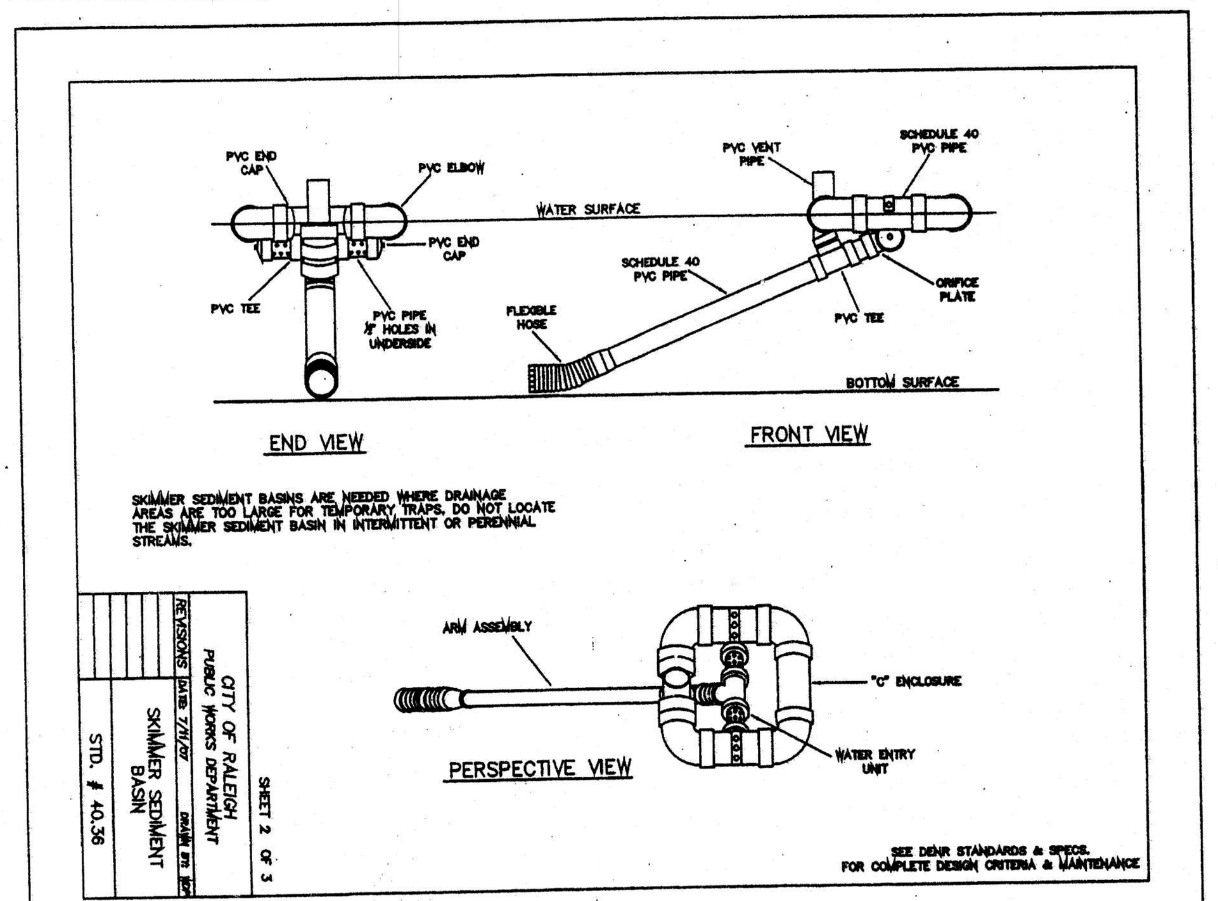




STANDARD CATCH BASIN/YARD INLET PROTECTION 14



CHECK DAM 6



THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST & CITY OF RALEIGH PUBLIC UTILITIES

Department	Date
Engineering Department	1/2/18
Public Works Department	11/30/17
Erosion & Sediment control	12-21-17
Fire Prevention	12/4/17
Accessibility	2.13.18
Planning Department	
City of Raleigh Public Utilities (N/A)	
Urban Forester (N/A)	

CONSTRUCTION SEQUENCE

1. Obtain a land disturbing permit. Schedule a preconstruction conference with the Environmental Engineer HOLLY SPRING.
2. Install gravel construction pad, temporary diversions, silt fence, skimmer basins and other measures as shown on the approved plan. Clear only as necessary to install these devices. Seed temporary diversions, berms and basins immediately after construction.
3. Call (919) 554-3158 for an on site inspections by the Environmental Engineer to obtain a Certificate of Compliance.
4. Begin clearing and grubbing. Maintain devices as needed. begin to rough grade site.
5. Install the 30" hdpe pipe to divert the off-site water through this property, install the level spreader device to disperse the flow from the off-site pipe. Begin to install the new sanitary sewer line as shown on the plan. Begin to install the retaining wall and bring site to grade. Keep the diversion ditches at the rear & bottom of the retaining wall. Begin to bring site to grade and install the storm sewer as shown and protect inlets with wire & gravel per detail 14 on sheet C-5. Begin construction, building, etc.
6. Stabilize site as areas are brought up to finish grade with vegetation, paving, ditch linings, etc. Seed and mulch denuded areas within fifteen (15) days of completion of any phase of construction.
7. When construction is complete and all areas are stabilized completely, call (919) 554-3158 for an inspection by the Environmental Engineer.
8. If site is approved, remove temporary diversions, silt fence, sediment basins, etc., and seed out or stabilize any resulting bare areas. or pave any resulting bare areas.
   All remaining permanent erosion control devices (such as velocity dissipators) should now be installed.
9. When vegetation has become established, call for final site inspection by Environmental Engineer, HOLLY SPRING. Obtain a Certificate of Completion.

SEEDING SCHEDULE

(REVISED: 1-1-86)

Shoulders, Side Ditches, Slopes (Max 3:1)

DATE	TYPE	PLANTING RATE
Aug 15 – Nov 1	Tall Fescue	300 lbs/acre
Nov 1 – Mar 1	Tall Fescue	300 lbs/acre
	& Abruzzi Rye	25 lbs/acre
Mar 1 – Apr 15	Tall Fescue	300 lbs/acre
Apr 15 – Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1 – Aug 15	Tall Fescue and	120 lbs/acre
	***Browntop Millet	35 lbs/acre
	***or Sorghum-Sudan Hybrids	30 lbs/acre

Slopes (3:1 to 2:1)

DATE	TYPE	PLANTING RATE
Mar 1 – Jun 1	Sericea Lespedeza (scarified) &	50 lbs/acre
(Mar 1 – Apr 15)	Add Tall Fescue	120 lbs/acre
(Mar 1 – Jun 30)	Or Add Weeping Lovegrass	10 lbs/acre
(Mar 1 – Jun 30)	Or Add Hulled Common Bermudagrass	25 lbs/acre
Jun 1 – Sep 1	***Tall Fescue and	120 lbs/acre
	***Browntop Millet	35 lbs/acre
	***or Sorghum-Sudan Hybrids	30 lbs/acre
Sep 1 – Mar 1	Sericea Lespedeza (unhulled-unscarified) and Tall Fescue	70 lbs/acre 120 lbs/acre
(Nov 1 – Mar 1)	Add Abruzzi Rye	25 lbs/acre

Consult Conservation Engineer or Soil Conservation Service for additional information concerning other alternatives for vegetation of denuded areas. The above vegetation rates are those which do well under local conditions; other seeding rate combinations are possible.

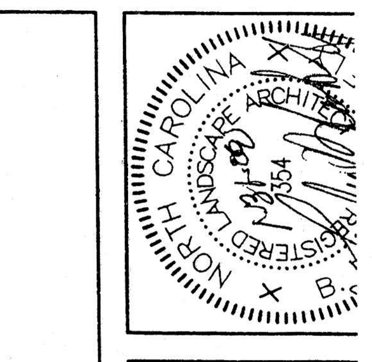
***Temporary – Reseed according to optimum season for desired permanent vegetation. Do not allow temporary cover to grow over 12" in height before mowing, otherwise fescue may be shaded out.

SEEDING SCHEDULE

1.) CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2.) RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
3.) REMOVE ALL LOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4.) APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW*).
5.) CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6INCHES DEEP.
6.) SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7.) MULCH IMMEDIATELY AFTER SEEDING ANDANCHOR MULCH.
8.) INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE.IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9.) CONSULT CONVERSATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

* APPLY: AGRICULTURAL LIMESTONE – 2 TONS/ ACRES (3 TONS/ ACRE IN CLAY SOILS)
FERTILIZER – 1,000 lbs. / ACRE -10-10-10
SUPERPHOSPHATE- 500 lbs> / ACRE -20% ANALYSIS
MULCH -2 TONS / ACRE – SMALL GRAIN STRAW
ANOTHER – ASPHALT EMULSION @ 300 GALS./ ACRE

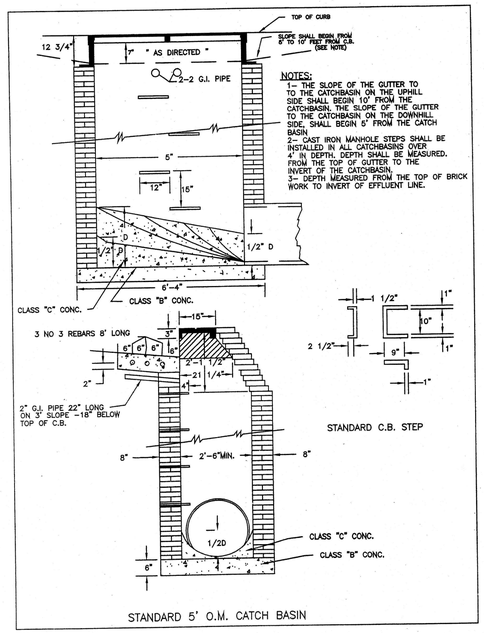
SEEDBED PREPARATION

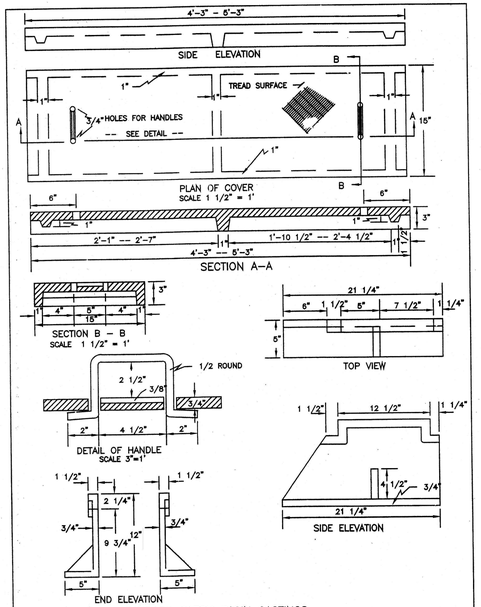


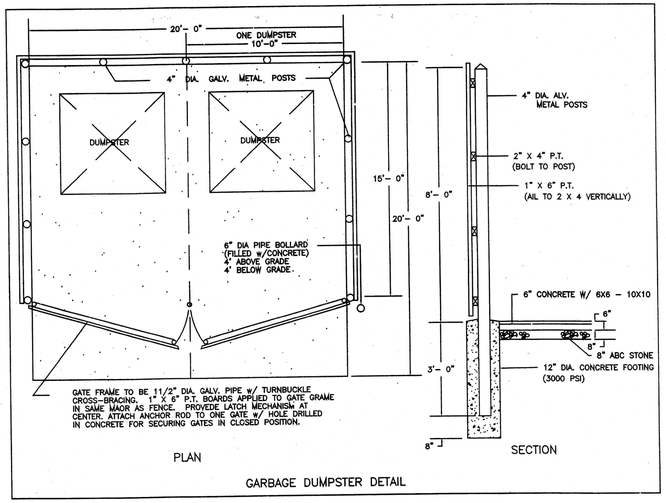
BLAKELY DESIGN GROUP
Landscape Architecture Site Planning

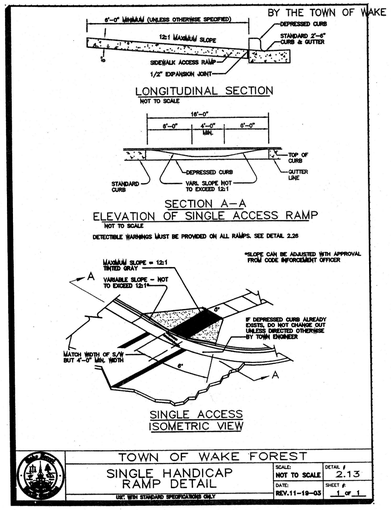
EROSION CONTROL DETAILS

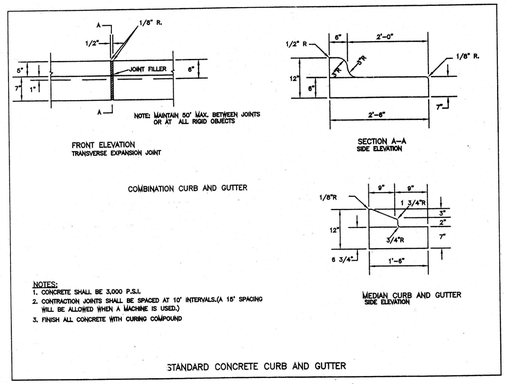
DATE DEC.
SCALE NO
DRAWN BTB
JOB NO.
REVISIONS
SHEET C-

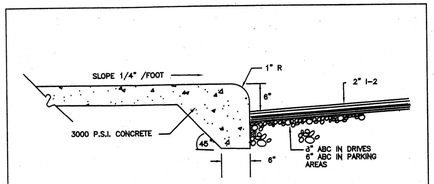


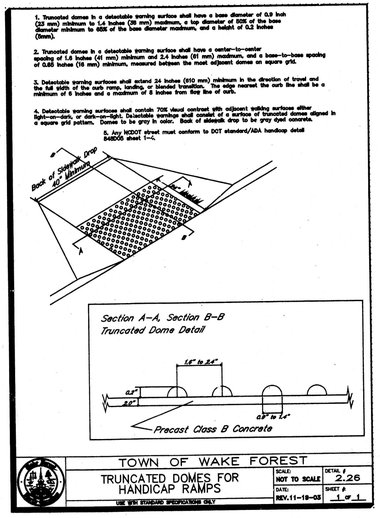


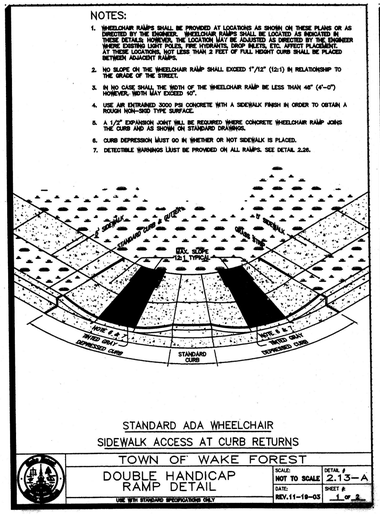


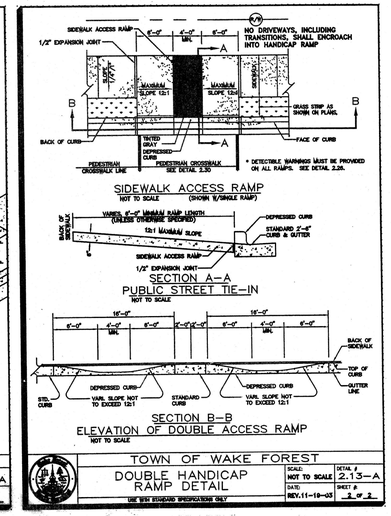


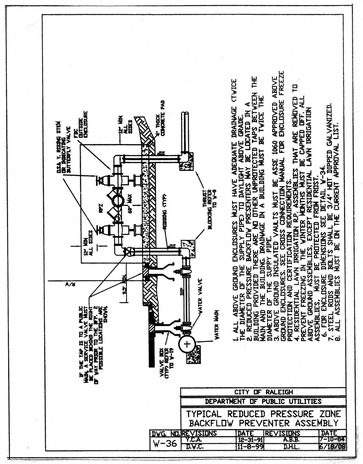












THESE PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE TOWN OF WAKE FOREST & CITY OF RALEIGH PUBLIC UTILITIES

Engineering Department — Date 1/2/18

Public Works Department — Date 11/30/17

Erosion & Sediment control — Date 12-21-17

Fire Prevention — Date

Accessibility — Date 12/4/17

Planning Department — Date 2.13.18

City of Raleigh Public Utilities — Date N/A

Urban Forester — Date N/A

DETAILS

BLAKELY DESIGN GROUP
Landscape Architecture Site Planning
700 Exposition Place, Suite 105, Raleigh, North Carolina 27615
Telephone (919) 870-1868 Fax (919) 870-0752

CONSTRUCTION DETAILS

HERITAGE PROFESSIONAL PARK WEST

DATE DEC. 5, C

SCALE NO SCALE

DRAWN BTB

JOB NO.

REVISIONS

SHEET C-6